

# PRELIMINARY PLAT - HOOT ADDITION

*LEWISTON, IDAHO 83501*

SW.1/4 NW.1/4 SEC. 16,  
TWP 35N., RG. 5W., B.M.



### VICINITY MAP

SCALE: N.T.S.

## AGENCY TELEPHONE NUMBERS

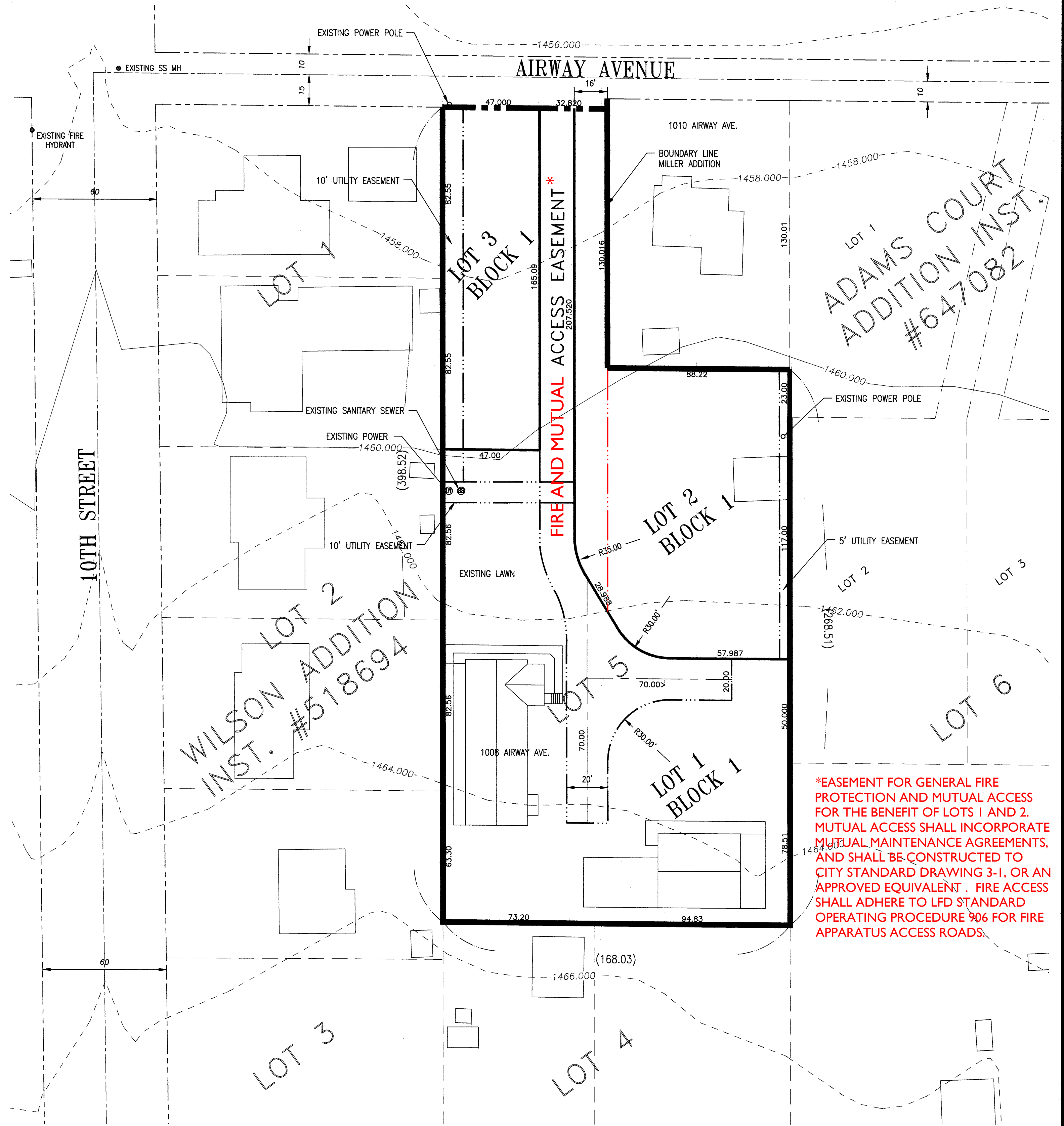
CITY OF LEWISTON BUILDING & PLANING (208) 746 1311  
WARREN WATTS ENGINEERING  
3435 CLEMAN'S ROAD  
CLARKSTON, WA 99403 (509) 780 9722  
OWNER (ROBERT D. MILLER)  
1008 AIRWAY AVENUE  
LEWISTON, ID 83501 HOME - (208) 746 1266  
CELL - (208) 305-7744  
**(208) 305-7744**

## NOTES

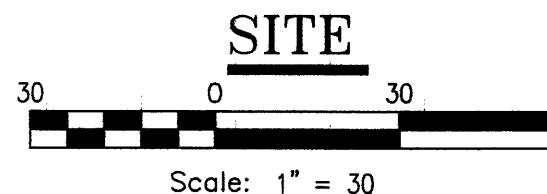
ZONING CLASSIFICATION,	R2A
TRACT AREA,	1.27 ACRES
LAND USE	SINGLE FAMILY AND ACCESS EASEMENT
ALL LOTS, USES	SINGLE FAMILY AND ACCESS EASEMENT
SEWAGE DISPOSAL	C.O.S.D.
WATER SUPPLY	L.O.I.D.
SERVICE PROVIDERS	AVISTA, CENTURRYLINK AND CABLE ONE AGREED TO PROVIDE SERVICE

## 3 LOTS

1, 31,647 SQ. FT  
2, 15,852 SQ. FT  
3, 7,995 SQ. FT  
TOTAL AREA = 55,494 SQ. FT

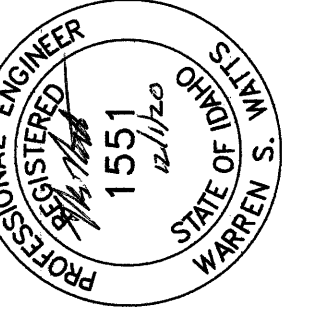


\*EASEMENT FOR GENERAL FIRE PROTECTION AND MUTUAL ACCESS FOR THE BENEFIT OF LOTS 1 AND 2. MUTUAL ACCESS SHALL INCORPORATE MUTUAL MAINTENANCE AGREEMENTS, AND SHALL BE CONSTRUCTED TO CITY STANDARD DRAWING 3-1, OR AN APPROVED EQUIVALENT. FIRE ACCESS SHALL ADHERE TO LFD STANDARD OPERATING PROCEDURE 906 FOR FIRE APPARATUS ACCESS ROADS.



**LEGEND**

\_\_\_\_\_ WATER METER  
 - - - - - CENTER LINE  
 - - - - - RIGHT-OF-WAY  
 - . . . - UTILITY EASEMENT  
 \_\_\_\_\_ CURB & GUTTER  
 - - - - - EXISTING LOT LINE  
 \_\_\_\_\_ PROPOSED LOT LINE  
 \_\_\_\_\_ BOUNDARY LINE

[illegible]

# W/W ENGINEERING

- \* ROADS & SUBDIVISIONS
- \* RESIDENTIAL & COMMERCIAL
- \* STRUCTURES

- \* PLANNING & DESIGN
- \* WATER & SEWAGE SYSTEMS
- \* ENVIRONMENTAL SERVICE

ROBERT D. MILLER  
1008 AIRWAY AVENUE  
LEWISTON, ID 83501  
PRELIMINARY PIAT

OWN BY:	CHECKED BY:
WRW	WSW
IGNED BY:	
	WSW
DATE:	12/01/2020
SCALE:	1" = 30'
SHEET NO:	20-071
SHEET 1	OF 1