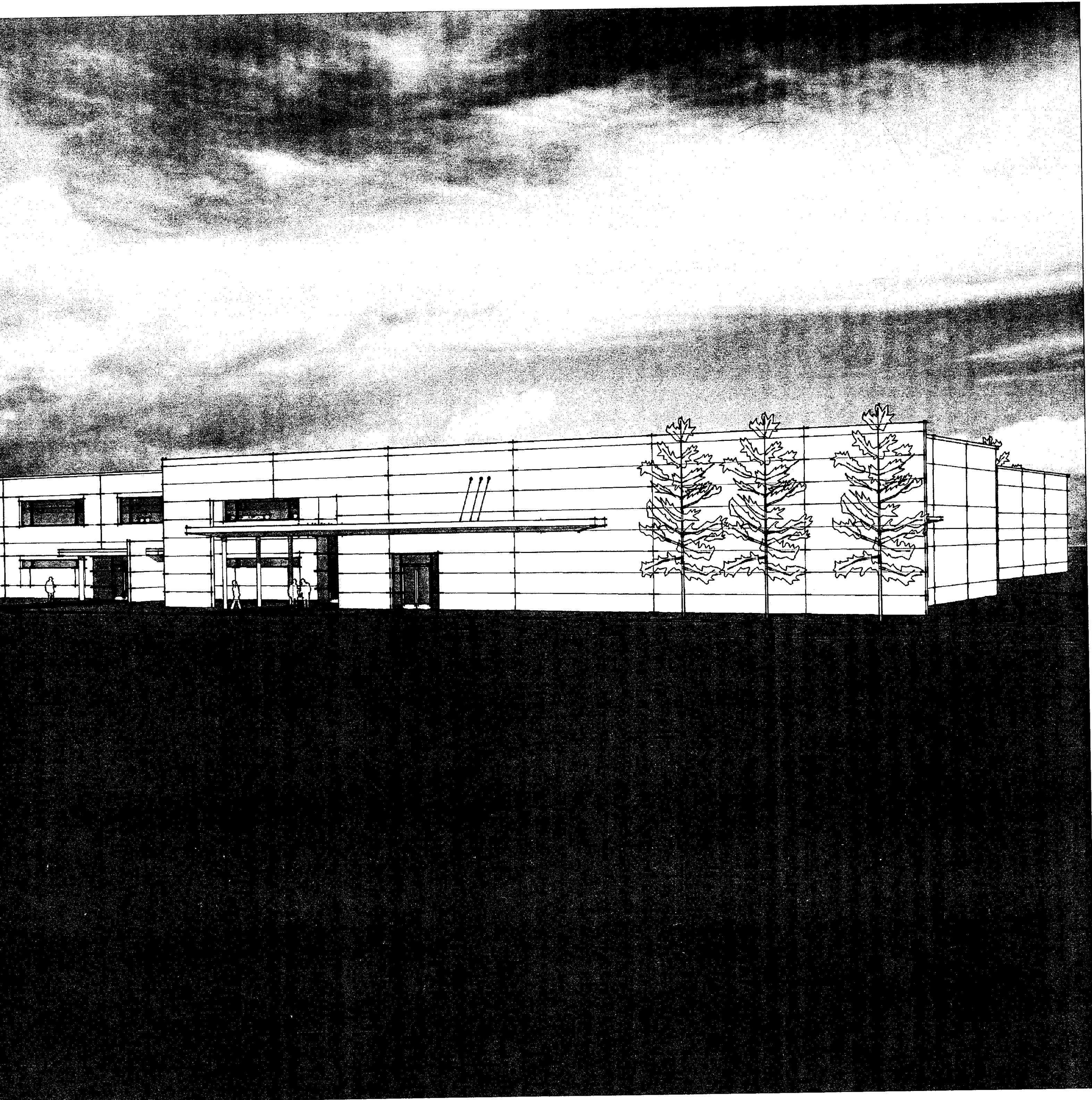


SCHWEITZER ENGINEERING LABORATORIES MANUFACTURING FACILITY SITE DEVELOPMENT PACKAGE



Project Summary

THE PROPOSED PROJECT IS FOR A MANUFACTURING FACILITY, LOCATED ON JUNIPER DRIVE NEAR REGENCO COURT IN LEWISTON, IDAHO. THE SITE IS ZONED FOR A BUSINESS TECHNOLOGY PARK, AND IS PART OF THE NEZ PERCE TERRACE P.U.D. THE SITE IS APPROXIMATELY 25 ACRES, AND CONTAINS AN 80 FOOT WIDE LANDSCAPING EASEMENT ALONG THE SOUTH PROPERTY LINE. THERE IS ALSO AN EXISTING PUBLIC WALKING PATH ENTERING THE SITE JUST NORTH OF THE IPC PAIN CLINIC, RUNNING ALONG THE WEST AND NORTH IN RELATIVE PROXIMITY TO THE PROPERTY LINES, AND RUNNING ALONG THE SOUTH ADJACENT TO THE PROPERTY LINES.

PHASE I OF THE PROJECT IS FOR A MANUFACTURING FACILITY, WITH APPROXIMATELY 92,000 SF OF MANUFACTURING FLOOR AREA AND 13,300 SF OF SECOND FLOOR OFFICE AREA. THE DRAWING SET IS FOR SITE DEVELOPMENT ONLY. ANY REFERENCES TO THE BUILDING ARE FOR INFORMATION ONLY.

SITEWORK CONSISTS OF GRADING FOR THE ENTIRE SITE AND PAVING FOR THE PHASE I PROJECT, AND GRADING ONLY FOR THE PHASE II BUILDING AND PARKING. THERE IS A MAIN ENTRY DRIVE INTO THE SITE, LEADING TO THE BUILDING ENTRY AND THE PHASE I PARKING LOTS. A PERIMETER LOOP ROAD SURROUNDS THE BUILDING AND PARKING LOT TO PROVIDE FOR FIRE TRUCK, TRASH TRUCK AND SEMI-TRUCK ACCESS COMPLETELY AROUND THE BUILDING. A TEMPORARY FIRE TRUCK ACCESS ROAD CONNECTS THE FRONT AND THE BACK OF THE BUILDING DURING PHASE I OPERATIONS. PHASE II WILL DELETE THIS PORTION OF ROAD, AND RELOCATE IT TO THE SOUTH OF THE PHASE II BUILDING. PARKING IS PROVIDED FOR THE PHASE I PROJECT ONLY. ADDITIONAL PARKING WILL BE INCORPORATED DURING PHASE II TO ACCOMMODATE THE REQUIREMENTS OF THE PHASE II PROJECT.

Zoning Data :

AUTHORITY HAVING JURISDICTION:

CITY OF LEWISTON, IDAHO
COMMUNITY DEVELOPMENT DEPARTMENT

LEGAL DESCRIPTION:

A PART OF THE SE 1/4 OF SECTION 5 AND THE N 1/2 OF SECTION 8, TOWNSHIP 35 NORTH, RANGE 5 WEST, BOISE MERIDIAN, CITY OF LEWISTON, NEZ PERCE COUNTY, STATE OF IDAHO.

SITE:

ADDRESS: 2821 JUNIPER DRIVE
LEWISTON, IDAHO 83501

LOT SIZE: 25.10 ACRES (1,093,356 SF)

TAX PARCEL NUMBER : 0503, 0540, 0541, 0601, 0808, 0809, 0811, 0812, 0813, 0814, 0815, 0816, 0817, 0818, 0819

ZONING CLASSIFICATION:

NEZ PERCE TERRACE P.U.D. - BUSINESS TECHNOLOGY PARK
CPF INST. # 658330
PLAT INST. # 487715
COVENANT INST. # 693697

USE :

LIGHT MANUFACTURING FACILITY

BUILDING HEIGHT :

35 FEET MAXIMUM WHEN SITE ADJUTS A RESIDENTIAL ZONE

BUILDING SETBACK REQUIREMENTS :

NONE REQUIRED EXCEPT FOR REQUIRED LANDSCAPE BUFFER

PARKING REQUIREMENTS :

MINIMUM REQUIRED: 13,300 sf / 250 = 54 STALLS
PHASE 1: OFFICE 125 EMPLOYEES = 125 STALLS
MANUFACTURING 179 STALLS
TOTAL 179 STALLS

MINIMUM OF 6 STALLS TO BE ADA ACCESSIBLE

MAXIMUM ALLOWED: N/A

PROVIDED: 225 STANDARD STALLS
7 ADA ACCESSIBLE STALLS (VAN)
232 TOTAL PARKING STALLS

BIKE SPACES: NONE REQUIRED
7 SPACES PROVIDED

MOTORCYCLE SPACES: NONE REQUIRED
10 SPACES PROVIDED

LANDSCAPE BUFFER REQUIREMENTS :

	REQUIRED	PROVIDED
FRONT (WEST)	20 FEET	111 FEET
REAR (EAST)	20 FEET	61 FEET
SIDE (NORTH)	5 FEET	142 FEET
SIDE (SOUTH EASEMENT)	80 FEET	87 FEET

LANDSCAPE REQUIREMENTS IN PARKING LOTS :

INTERIOR PARKING LOT : 100,000 sf --- 150,000 sf
REQUIRED LANDSCAPE AREA : 8 % MINIMUM
SHADE CANOPY : 50 % OF HARDSCAPE AREA

SITE LIGHTING :

SHALL BE "NO TRESPASS" CUT-OFF FIXTURES

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GENERAL:

A0.10 COVER SHEET
A0.20 ABBREVIATIONS, CODE SUMMARY, GENERAL NOTES, & SYMBOLS

CIVIL:

C0.0 CIVIL COVER SHEET
C1.0 GENERAL NOTES
C2.0 EXISTING SITE SURVEY
C3.0 DEMOLITION PLAN
C4.0 EROSION CONTROL PLAN / S.W.P.P.P.
C5.0 HORIZONTAL CONTROL PLAN
C6.0 SITE PLAN
C7.0 GRADING PLAN
C7.1 CONTOUR PLAN
C8.0 STORM DRAINAGE PLAN

C9.0 UTILITY PLAN
C9.1 SEWER AND WATER PROFILES
C10.0 DETAILS
C10.1 DETAILS
C10.2 DETAILS
C10.3 DETAILS
C10.4 DETAILS

LANDSCAPE:

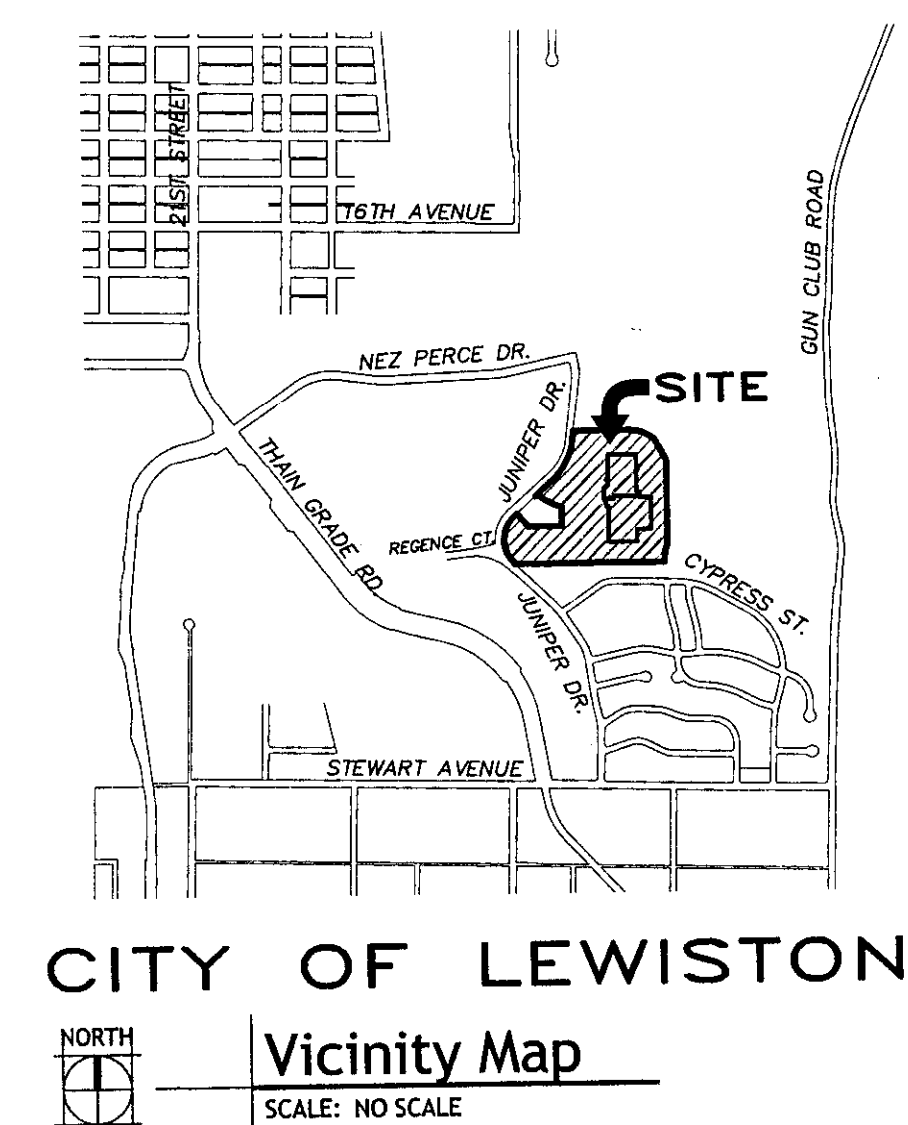
L1.00 OVERALL PLANTING PLAN

ARCHITECTURAL:

A1.10 OVERALL SITE PLAN
A1.20 ENLARGED SITE PLANS - ENTRY PLAZA & SERVICE YARD
A1.30 SITE DETAILS

ELECTRICAL:

E2.1 SITE ELECTRICAL / LIGHTING



Site Development Package
Permit Set
January 21, 2011

Schweitzer Engineering Laboratories

Manufacturing Facility
xxxx Juniper Drive, Lewiston, ID 83501

Site Development Package - January 21, 2011

B W A BERNARDO WILLS
ARCHITECTS PC

Project No: 10-340
Drawn by: BSR
Date: January 21, 2011

A0.10