

DEVELOPMENT PLANS

CURTIS RANDALL
LEWISTON IDAHO, 83501

Missing City's Inspection
Checklist

AGENCY TELEPHONE NUMBERS

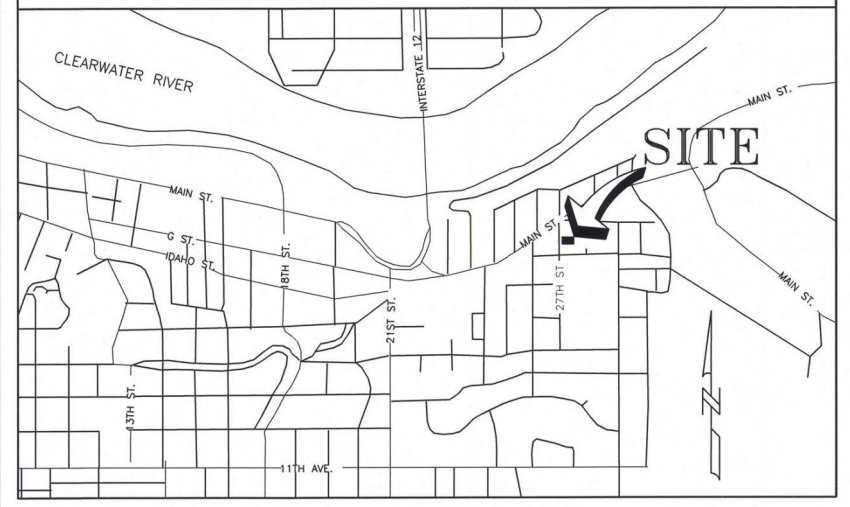
CITY OF LEWISTON BUILDING INSPECTION	(208) 746-1318
CITY OF LEWISTON WATER & SEWER	(208) 746-1316
CITY OF LEWISTON PUBLIC WORKS DEPT.	(208) 746-1316
AVISTA UTILITIES CONTACT: TED BOYLE	(208) 798-1478
QWEST CORPORATION CONTACT: TOM McAVOY	(208) 798-0607
CABLE ONE CONTACT: DAN SMITH	(208) 746-3336
UNDERGROUND UTILITY LOCATE (CALL 48 HOURS BEFORE YOU DIG)	1-800-342-1585
DEVELOPER: CURTIS G. RANDALL 1918 4TH AVE N. LEWISTON, ID 83501	



LEGEND

XXX	PROPOSED CONTOUR	(XXX)	EXISTING CONTOUR
XXX	PROPOSED GRADE	(XXX)	EXISTING GRADE
XXX	PROPOSED GRAVEL SURFACING	XXX	EXISTING A.C.
SS	PROPOSED SEWER SERVICE	SS	EXISTING SEWER
W	PROPOSED WATER SERVICE	W	EXISTING WATER
W	PROPOSED WATER METER	S	EXISTING SEWER MANHOLE
---	PROPERTY LINE	D	EXISTING STORM DRAIN MANHOLE
---	CENTER LINE OF STREET	XV	EXISTING GATE VALVE
---	VACATED EASEMENT OR ALLEYWAY	FD	EXISTING FIRE HYDRANT
---	FENCE		

VICINITY MAP



SITE PERMIT QUANTITIES

HMA PAVEMENT (FILO)	1162.5	S.F.	2,250 square feet
DOMESTIC WATER SERVICE	±22	L.F.	
SEWER SERVICE	±170	L.F.	
STORM DRAIN LINE	0	L.F.	
STORM DRAIN MANHOLE	0	EA.	
CURB & GUTTER (FILO)	75	L.F.	
SIDEWALK (FILO)	337.5	S.F.	
GRAVEL SURFACING	±90	C.Y.	

CONSTRUCTION NOTES

GENERAL NOTES

- 1) THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS AND FEES.
- 2) THE CONTRACTOR SHALL INVESTIGATE ON SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS OF THE PROJECT AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS REQUIRING MODIFICATION PRIOR TO PROCEEDING.
- 3) THE CONTRACTOR SHALL TAKE ALL NECESSARY PREVENTATIVE MEASURES TO PROTECT THE EXISTING IMPROVEMENTS. ANY DAMAGE SHALL BE REPLACED AT NO COST TO THE OWNER.
- 4) THE CONTRACTOR SHALL COORDINATE THE WORK SCHEDULE SO AS TO HAVE A MINIMUM IMPACT ON THE EXISTING TRAFFIC. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER THE MUTCD.
- 5) OWNER'S PROPERTY CORNERS SHALL BE PROTECTED AT ALL TIMES, AND THE CONTRACTOR SHALL RETAIN THE SERVICES OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF IDAHO TO REFERENCE ALL CORNERS. UPON COMPLETION OF THE PROJECT, ALL EXISTING CORNERS DAMAGED BY CONSTRUCTION OR OTHER ACTIVITY SHALL BE REPLACED BY A PROFESSIONAL LAND SURVEYOR.
- 6) ALL WORK SHALL CONFORM TO STATE AND LOCAL CODES AND CONFORM TO THE CITY OF LEWISTON STANDARD DRAWINGS AND STANDARD TECHNICAL SPECIFICATIONS.
- 7) SITE DISTANCES FOR ABUTTING PROPERTIES, DRIVEWAYS, AND INTERSECTIONS MUST BE MAINTAINED.
- 8) EROSION AND DUST CONTROL MEASURES MUST BE USED DURING CONSTRUCTION TO REDUCE OR ELIMINATE BLOWING DUST, EXCESSIVE RUNOFF, AND SOIL EROSION ACROSS PROPERTY LINES AND INTO STREETS AND RIGHT-OF-WAY, AND TO ELIMINATE TRACKING SOIL AND MUD ONTO STREETS FROM CONSTRUCTION EQUIPMENT AND VEHICLES.
- 9) IMPROVEMENTS CONSTRUCTED ON RIGHT-OF-WAY REQUIRE A STREET CUT PERMIT OBTAINED AT THE CONSTRUCTION MANAGEMENT SECTION OF THE PUBLIC WORKS DEPARTMENT.
- 10) ALL CONSTRUCTION NOT SPECIFICALLY MENTIONED OR SHOWN SHALL CONFORM TO CITY ORDINANCES AND STANDARDS.

GRADING NOTES

- 1) ALL TOPSOIL SHALL BE STRIPPED AND STOCKPILED BEFORE EXCAVATION.
- 2) ALL EXPOSED CUT/FILL SLOPES SHALL BE SEEDED TO PREVENT EROSION.
- 3) ALL ROADWAY FILL SHALL BE AS A MINIMUM, CLEAN, UNIFORMLY GRADED, COMPACTED TO 95% OF THE MAX. DRY DENSITY DETERMINED BY MODIFIED PROCTOR, AASHTO T-180. COMPACTION LAYERS SHALL BE 8" DEEP.

WATER NOTES

- 1) ALL WATER UTILITIES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH STATE OF IDAHO STANDARDS FOR PUBLIC DRINKING WATER SYSTEMS.
- 2) WATER LINE CONNECTIONS TO MAINS AND LATERALS SHALL BE LEFT UNCOVERED UNTIL AFTER THE CITY ENGINEER HAS INSPECTED AND APPROVED THE WORK. AFTER APPROVAL OF CONNECTION, THE TRENCH SHALL BE BACKFILLED AS SPECIFIED.
- 3) THE CONTRACTOR SHALL PROVIDE 4 FT MIN. COVER ON ALL WATER LINES AND PROVIDE 18" MINIMUM VERTICAL CLEARANCE BETWEEN WATER LINE AND SEWER OR STORM DRAIN CROSSINGS.

SEWER NOTES

- 1) ALL EXISTING LIVE SEWERS SHALL BE KEPT IN SERVICE AT ALL TIMES. PROVISIONS SHALL BE MADE FOR DISPOSAL OF SEWAGE FLOW IF ANY EXISTING SEWERS ARE DAMAGED. DAMAGE TO EXISTING SEWERS SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE CITY, TO A CONDITION EQUAL TO OR BETTER THAN CONDITIONS PRIOR TO THE DAMAGE.
- 2) SEWER PIPES SHALL BE P.V.C. POLYVINYL CHLORIDE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM D 3034 SDR 35 OR ASTM F 799. JOINTS FOR P.V.C. PIPE SHALL CONFORM TO ASTM D 3212 USING RESTRAINED GASKETS CONFORMING TO ASTM F477. FITTINGS FOR P.V.C. PIPE SHALL BE INJECTION MOLDED TEES OR FACTORY SOLVENT CEMENTED SADDLE TEES.
- 3) SEWER LINE CONNECTIONS TO TRUNKS, MAINS, LATERALS, OR SIDE SEWERS SHALL BE LEFT UNCOVERED UNTIL AFTER THE CITY ENGINEER HAS INSPECTED AND APPROVED THE WORK. AFTER APPROVAL OF CONNECTION, THE TRENCH SHALL BE BACKFILLED AS SPECIFIED.

LEGAL DESCRIPTION

LOT 8, BLOCK 8, AND THE SOUTH HALF OF LOT 9, BLOCK 8, RIVERSIDE ADDITION TO THE CITY OF LEWISTON, AND THE WEST HALF OF THE VACATED ALLEY LYING EAST OF SAID LOTS, ACCORDING TO THE RECORDED PLAT THEREOF, RECORDS OF NEZ PERCE COUNTY, IDAHO.

APPLICABLE STANDARD DETAILS

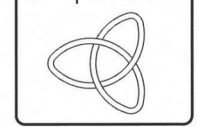
1-4	BACKFILL - CLASS A
1-6	BACKFILL - CLASS D
2-1	DRIVEWAY LOCATION & WIDTH REQUIREMENT
3-4	LOCAL RESIDENTIAL STREET
4-5	TYPICAL WATER METER OR UTILITY MARKER LOCATION
4-6	3" WATER SERVICE CONNECTION
5-1	WASTEWATER PRIVATE SERVICE CONNECTION
5-2	WASTEWATER SERVICE TAP OPTIONS

CONTRACTOR TO OBTAIN A CURRENT CITY OF LEWISTON STANDARDS BOOKLET FROM THE PUBLIC WORKS DEPARTMENT.

No.	DATE	BY	DESCRIPTION

COVER SHEET
SITE DEVELOPMENT PLANS
CURTIS RANDALL
LEWISTON, ID 83501

KELTIC ENGINEERING, INC.
315 Adams Lane • Lewiston, Idaho 83501 • (208) 743-2135 • (208) 743-2136 fax
9425 North Nevada Street, Ste 204 • Spokane, WA 99218 • (509) 464-3000 • (509) 464-3005 fax
• Development • Planning • Design • Construction Management



DRAWN BY:	TM.L	CHECKED BY:	EFH
DESIGNED BY:	TM.L		
DATE:	11/04/15		
LAST REV:	11/24/15		
PROJECT NO.	15-0067		
SHEET NO.	C1 OF C3		

PROPERTY NOTE:

NO PROPERTY SURVEY WAS PERFORMED FOR THIS SITE. PROPERTY LINES SHOWN ON THESE PLANS ARE ONLY APPROXIMATE. PROPERTY CORNERS MUST BE VERIFIED OR SET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF IDAHO.

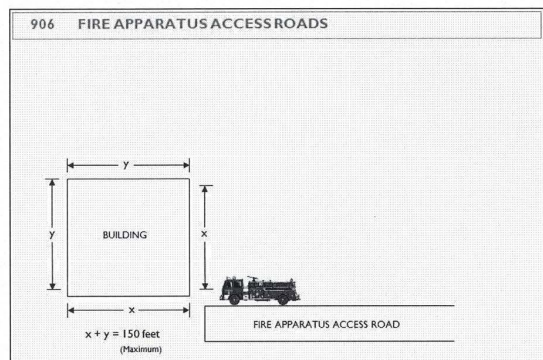
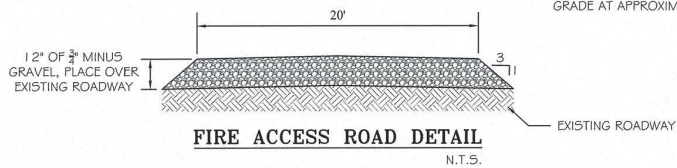
CAUTION - NOTICE TO CONTRACTOR:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

FIRE ACCESS REQUIREMENTS:

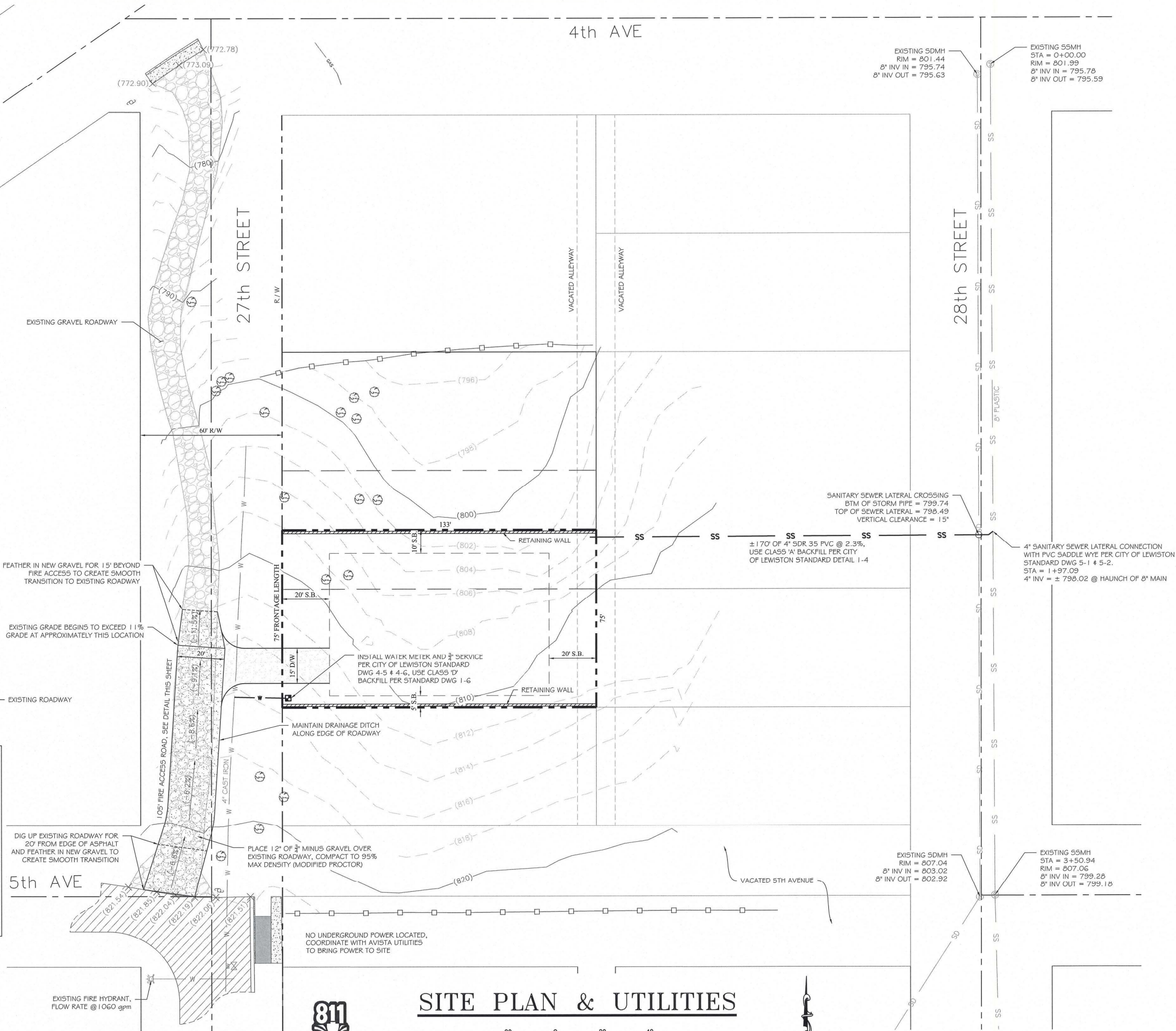
PER IFC CHAPTER 5, FIRE APPARATUS ACCESS ROADS SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING ON SITE AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING (SEE DETAIL THIS SHEET).

PER IFC CHAPTER 5, FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES.

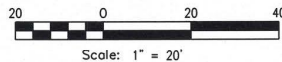


RETAINING WALLS:

RETAINING WALLS 4 FEET IN HEIGHT OR LESS TO BE INSTALLED BY OWNER. ALL RETAINING WALLS EXCEEDING 4 FEET IN HEIGHT OR SUBJECT TO ADDITIONAL SURCHARGE LOADS MUST BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF IDAHO.



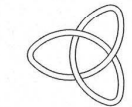
SITE PLAN & UTILITIES



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